

# Neighborhood Stabilization in NECD

Durham for All Organizing Committee



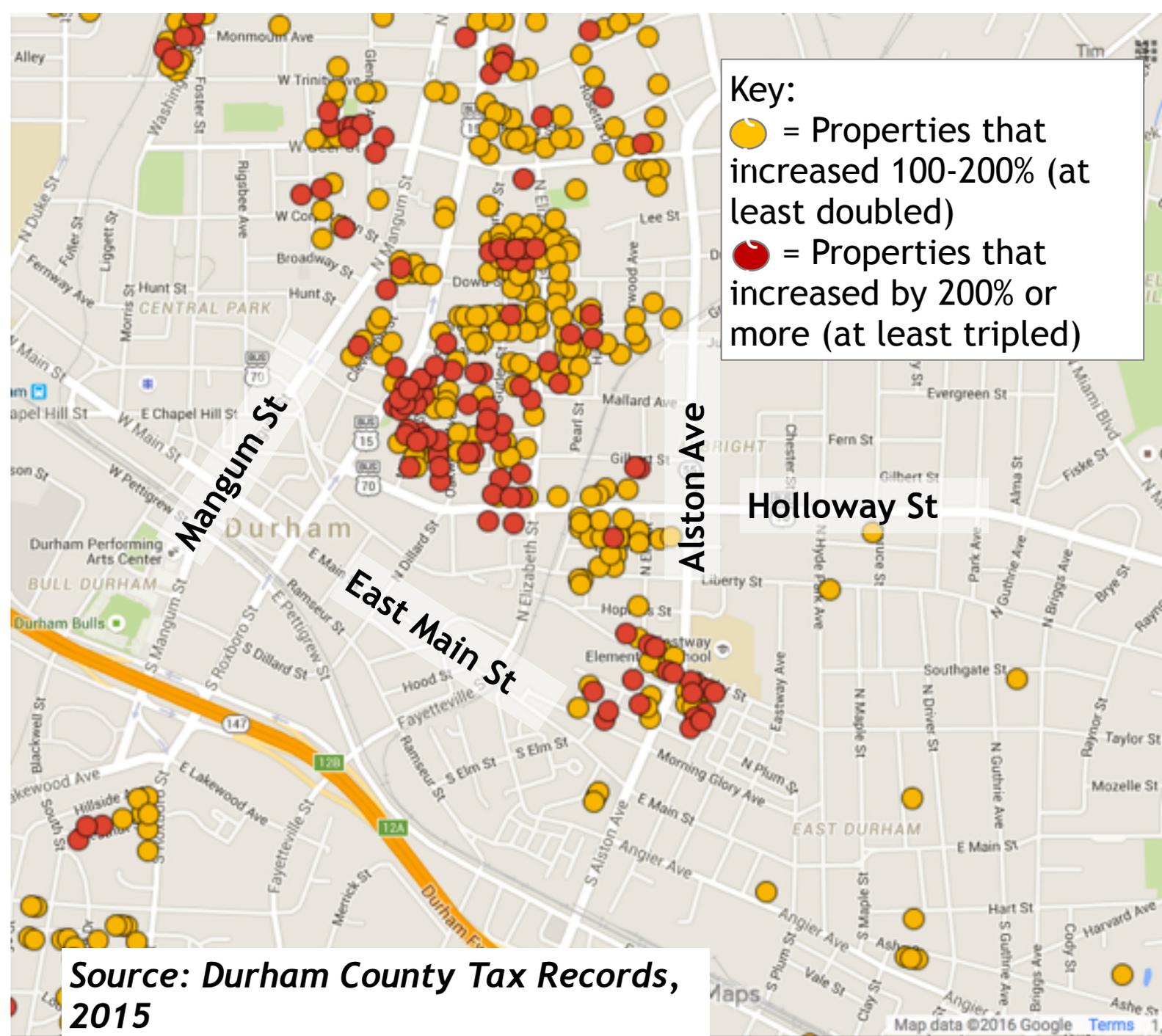
*Durham City Council Works Session  
June 9, 2016*

# Background and Objectives

- **Rapid demographic change** in the central city in regards to both race and class
- **Tax revaluation**, resulting in substantial tax increases in central city
  - While County-wide average increase in property valuation is ~16%, many central city neighborhoods averaging 200-400%
  - Creates additional displacement pressure
- City of Durham **Affordable Housing Strategy**
  - Broad recognition that ‘neighborhood stabilization’ is a timely goal, but uncertainty regarding what specific programs or policies would be most effective to pursue that goal
  - Desire for more fine grain data/information

# Tax Value Map

- Dramatic increase in assessed values in Cleveland-Holloway, Golden-Belt, and Albright
- Pressure moving east to Old East Durham and Mayor's PRI zone (Census tract 10.01)



# Canvassing Map

- Attempted Conversations = 800+
- Conversations had = 175+
- Focus on 2 areas in NECD
  - Areas with high increase in tax value (Cleveland-Holloway, Albright, and Golden Belt)
  - Old East Durham and Mayor's PRI area



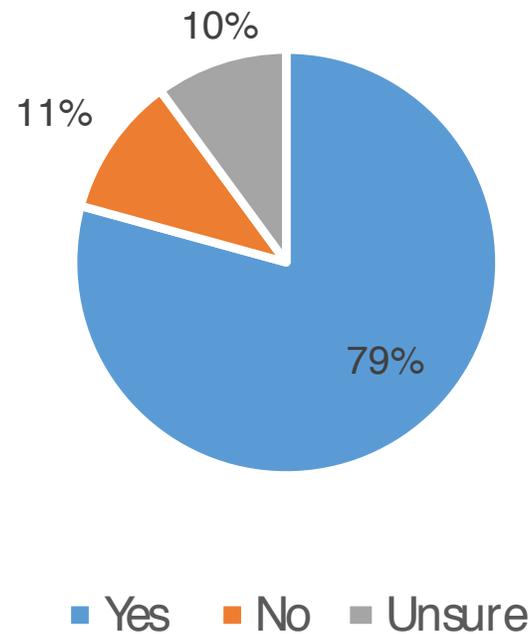
# Survey Questions

1. Verify name and address
2. Are you concerned about the potential impact of the property tax increase? Yes or No
3. Are you a homeowner or renter?
4. How many years have you lived in this house?
5. Beyond Property Taxes, what would you say is your primary concern related to housing?
  - Affordability
  - Repairs
  - Utilities
6. If eligible (over 65, legally disabled, veteran), are you aware of existing tax relief programs?



# Results: Concern About Tax Increase

Are You Concerned About the Potential Impact of the Property Tax Increase?



# Results: Length of Residence

<b>Length of Residence</b>	<b>Owner</b>	<b>Renter</b>	<b>Total</b>
Less than 1 year	5	38	43
1-5 years	22	28	50
6-9 years	6	8	14
10+ years	46	13	59
Unknown	5	2	7
<b><i>Total People</i></b>	<b>84</b>	<b>89</b>	<b>173</b>

# Results: Top Housing Concern

Top Housing Concern	Owner	Renter	Total
Affordability	13	28	41
Repairs	22	18	40
Utility Costs	4	12	16
N/A	16	12	28
Unknown	17	18	35
<b><i>Total People</i></b>	<b>72</b>	<b>88</b>	<b>160</b>

# Results: Outreach and Info for Existing Tax Relief Programs

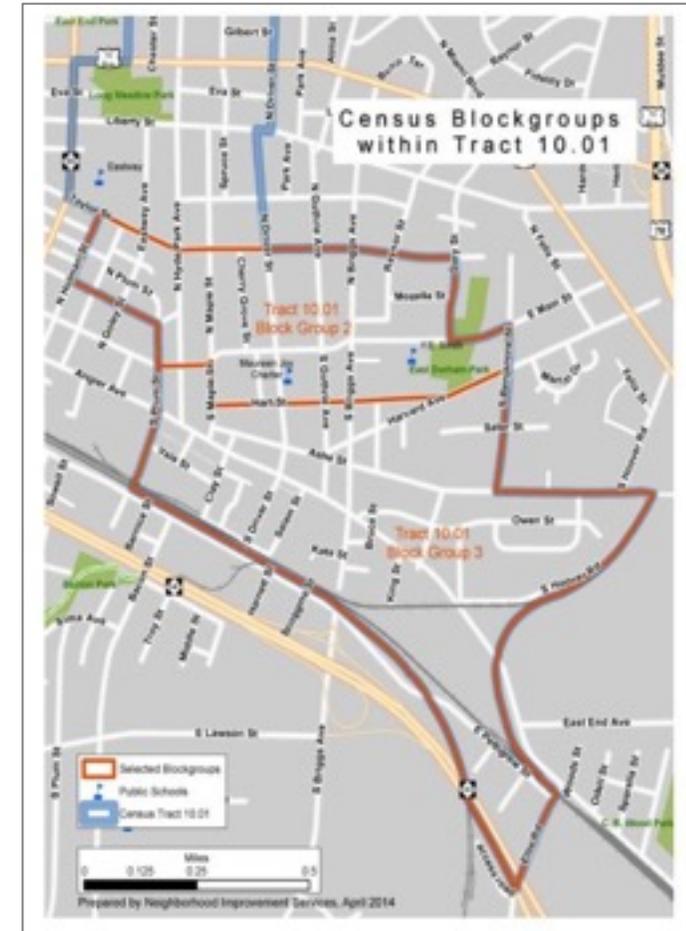
<b>Homeowners Eligible for Existing Tax Relief Programs</b>	
Senior	17
Disabled	8
Veteran	3
<b>Total</b>	<b>28</b>

*\* At least 25 eligible households received applications for existing tax relief programs*

*\*\* 100% of eligible households received information about existing tax relief programs*

# Mayor's PRI Initiative Review

- 2015 Action Plan recommendations from the Mayor's PRI Housing Task Force reflect three categories in NECD neighborhood canvassing survey
  - 1) minor repairs program, with efforts to do coordinated job training in neighborhood (**repairs**)
  - 2) weatherization program (**utilities**)
  - 3) grant to offset higher taxes (**affordability**)



# Conclusions

- “Neighborhood Stabilization” must be a long-term, multi-prong set of strategies
- It is time-sensitive
- Ongoing community organizing needed to effectively connect residents to opportunities and track progress
- Both affordability and housing conditions of high concern
  - “Affordability” the primary concern of renters
  - “Housing Conditions” primary concern of low-income homeowners

# Conclusions

- Low-income homeowners, many of whom have been in homes for 10+years, do not have resources for ongoing maintenance and repair of homes
  - Predominance of older/historic homes compounds negative impacts of deferred maintenance
- In an extremely tight rental market, many landlords do not keep up with repairs and maintenance of their properties, yet are able to charge increasingly high rents
- The vast majority of households eligible for existing tax relief programs were not aware of programs, and needed assistance with applications

# Recommendations for FY 2016-2017

- Survey results indicate that **a significantly expanded ‘repair’ program**, targeted at low-income homeowners would provide a real and consequential community benefit (health, safety, stability)
  - Due to canvassing work, Durham for All has names and contact info for residents that would likely qualify for a municipal program based on income, and length of residence
- Minor repair program targeted at landlords, with attached ‘affordability period’
- Coordination needed with County on:
  - 1) complementary repair programs
  - 2) additional outreach and assistance for existing tax relief programs
  - 3) work on a long-term strategy for tax fairness/relief

QUESTIONS/ COMMENTS