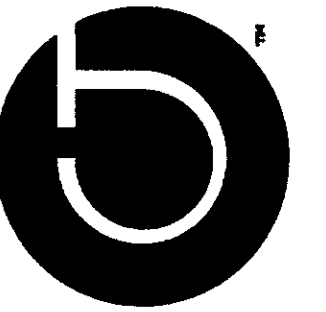


DOWNTOWN RELIABILITY ENHANCEMENT PROJECT

DURHAM, NORTH CAROLINA



4412 HILLSBOROUGH ROAD, DURHAM, NC 27705
PROJECT CONTACT: MARK ODOM

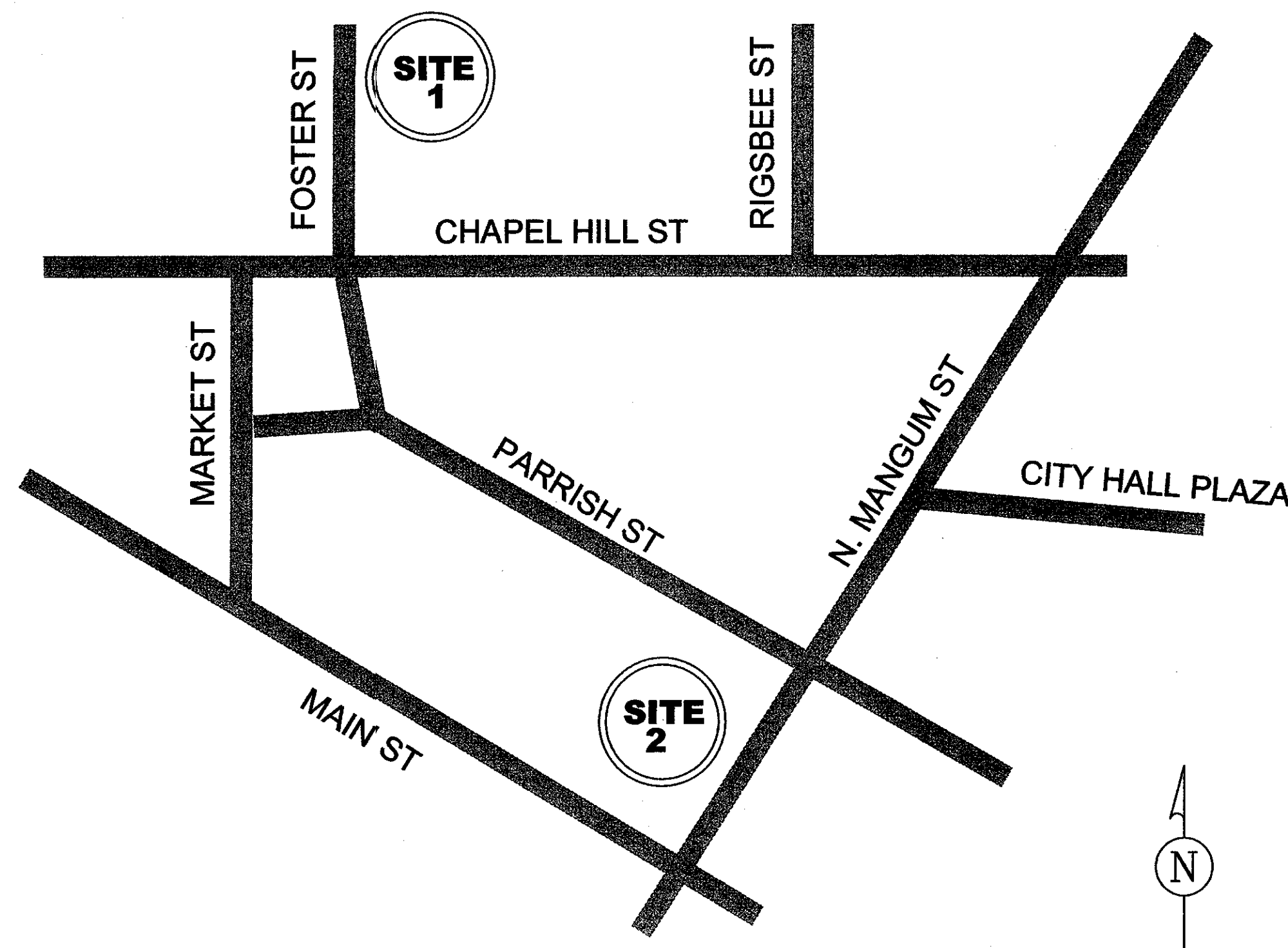


Coulter Jewell Thames P.A.
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111 West Main Street Durham, North Carolina 27701
919.682.0368 919.688.5646



4412 Hillsborough Road - Durham, North Carolina 27705

VICINITY MAP



PROJECT DATA

	Foster Street (Site One) Durham County	N. Mangum Street (Site Two) City of Durham
Owner	Durham County	City of Durham
Site Address	315 Holland Street Durham, NC	106 & 109 W. Main St Durham, NC
Pin	0821-08-97-1968	0821-12-97-3243 & 4247
Disturbed Area	0.046ac / 2,020 sqft.	0.029ac / 1,255 sqft.
Site area in flood plain	0 acres Fema map 3720082100k	0 acres Fema map 3720082100k
Development Tier	Downtown	Downtown
Zoning	DD-Core	DD-Core
Existing Use	Parking Lot	Park
Proposed Use	No Change to Either - Electrical Switching Cabinet and Duct Bank Installation only	
River Basin	Neuse	Cape Fear
Watershed	Ellerbe Creek	Third Fork Creek
Watershed Overlay	None	None
Overlay District	Historic District	Historic District
Existing Impervious Surface	6,126 sf	1,648 sf
Proposed Impervious Surface	6,206 sf	1,728 sf
Parking		
Required Parking	Unchanged	None
Proposed Parking	Unchanged	None
Bicycle Parking	Unchanged	None
ADA Parking	Unchanged	None
Required Tree Coverage	N/A	N/A
Proposed Cabinet Sqft.	37.78sq ft	37.78sq ft
Cabinet Heights	45-1/2" (3'-9 1/2")	45-1/2" (3'-9 1/2")
Setbacks	N/A	N/A

PROJECT NOTES:

TOPOGRAPHIC SURVEY INFORMATION BASED ON SURVEY BY COULTER JEWELL THAMES P.A., PERFORMED IN NOVEMBER 2010.

EXISTING CONCRETE SIDEWALKS ARE IN PLACE AT BOTH SITES.

INDEX OF PLAN SHEETS

- SP0 ... COVER SHEET
- SP1 ... SITE PLAN - FOSTER STREET - SITE ONE
- SP2 ... SITE PLAN - N. MANGUM STREET - SITE TWO
- SP3 ... SITE DETAILS

RESOURCE ORDINANCE COMPLIANCE

- STREAM BUFFERS: THERE ARE NO STREAMS ON EITHER SITE.
- STEEP SLOPE PROTECTION: THERE ARE NO STEEP SLOPES ON EITHER SITE.
- FLOODPLAIN PROTECTION: THERE ARE NO MAPPED FLOODPLAINS ON EITHER SITE PER FEMA MAP PANEL 3720082100K.
- WETLANDS PROTECTION: THERE ARE NO WETLANDS ON EITHER SITE.

JOB SITE COPY: A COPY OF THE APPROVED SITE PLAN MUST BE ON SITE AND AVAILABLE FOR PERIODIC INSPECTION AND USE DURING CONSTRUCTION TO EVALUATE COMPLIANCE WITH THE APPROVED SITE PLAN. REQUIRED INSPECTION WILL NOT TAKE PLACE IF THE JOBSITE COPY IS NOT AVAILABLE AND RE-INSPECTION FEES WILL BE CHARGED.

APPROVAL STAMPS

SIMPLIFIED SITE PLAN

SIMPLIFIED SITE PLAN APPROVED BY
THE DURHAM CITY-COUNTY
PLANNING DEPARTMENT

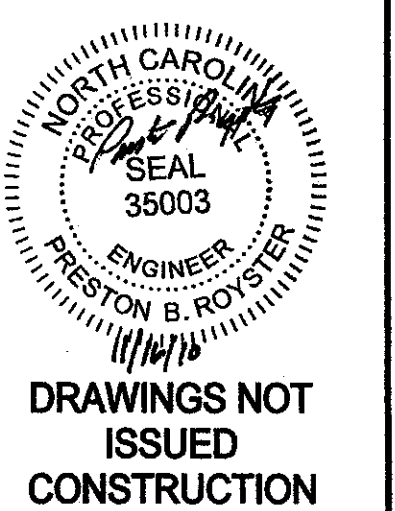
ON: December 17, 2010

Mark Odom
Planning Director or Designee

Null and void after 12/31/2014
For portions without an active building permit or
Certificates of Compliance

COD CASE #: D10 00XXX

Project:
**DOWNTOWN
RELIABILITY
ENHANCEMENT
PROJECT**
DURHAM, NC



**DRAWINGS NOT
ISSUED
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CJT Project No: 1043
Duke Energy WO No: 790823
Drawn: JSA
Checked: PR
Date: 16 NOVEMBER 2010
Revisions:

Sheet Title

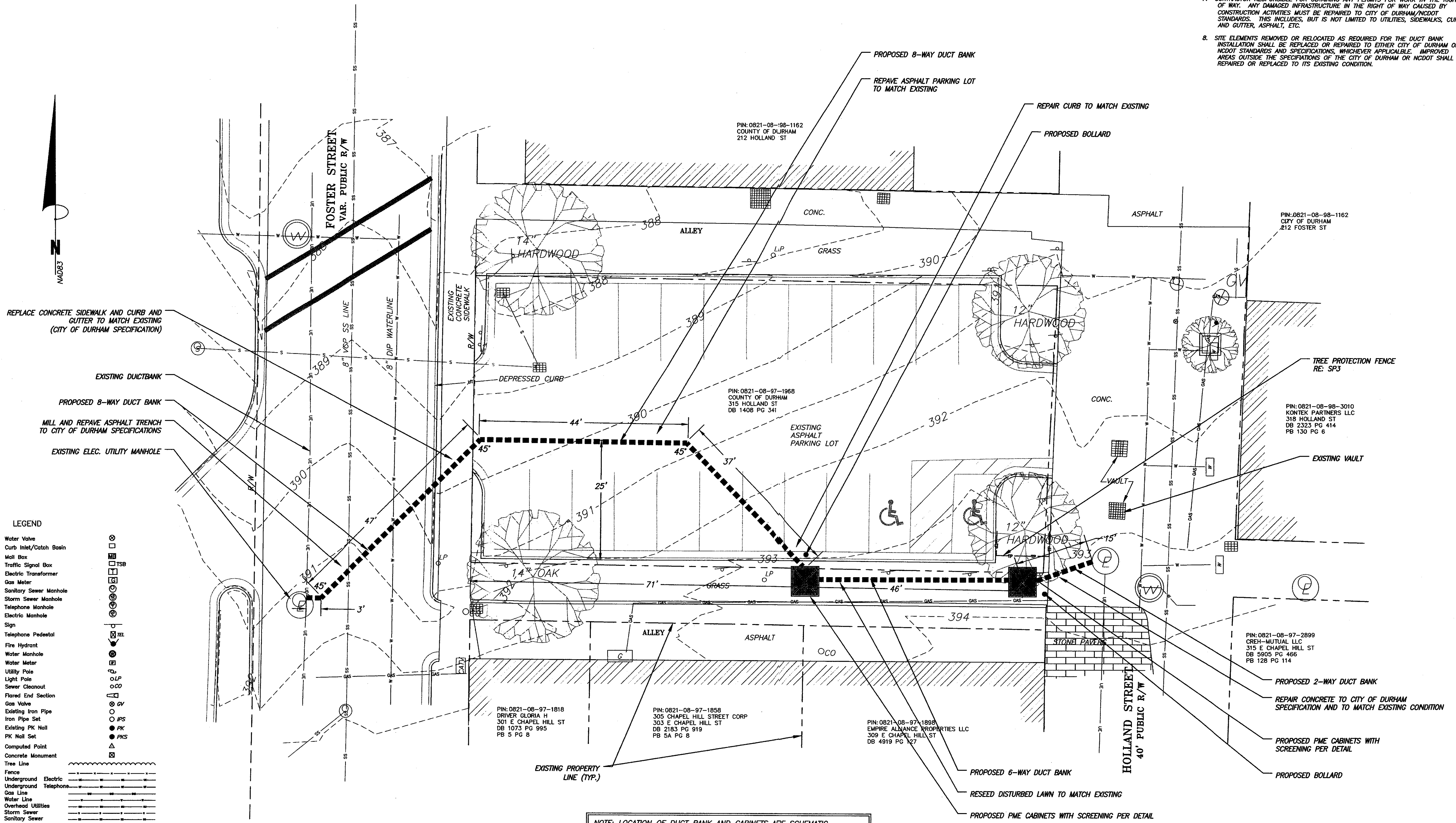
**COVER
SHEET**

Sheet Number

SP0

General Notes:

1. TOPOGRAPHIC INFORMATION BASED ON SURVEY BY COULTER JEWELL THAMES, P.A. PERFORMED IN NOVEMBER 2010.
2. THE LAYOUT OF THE IMPROVEMENTS SHOWN ON THIS PLAN ARE SCHEMATIC AND MAY VARY DEPENDING ON FIELD VERIFICATION OF EXISTING UTILITIES AND/OR OTHER ENCUMBRANCES ENCOUNTERED DURING CONSTRUCTION.
3. LANE CLOSURES SHALL BE IN ACCORDANCE WITH THE CITY OF DURHAM AND NCDOT STANDARDS AND SPECIFICATIONS.
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8. SITE ELEMENTS REMOVED OR RELOCATED AS REQUIRED FOR THE DUCT BANK INSTALLATION SHALL BE REPLACED OR REPAIRED TO EITHER CITY OF DURHAM OR NCDOT STANDARDS AND SPECIFICATIONS, WHICHEVER APPLICABLE. IMPROVED AREAS OUTSIDE THE SPECIFICATIONS OF THE CITY OF DURHAM OR NCDOT SHALL BE REPAIRED OR REPLACED TO ITS EXISTING CONDITION.

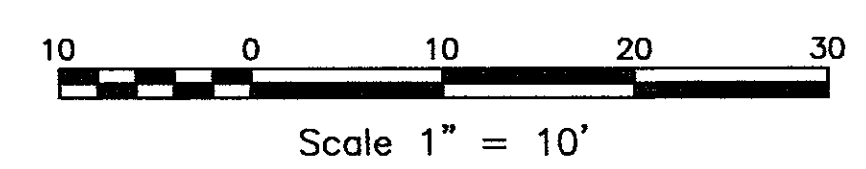


LEGEND

Water Valve	
Curb Inlet/Catch Basin	
Mail Box	
Traffic Signal Box	
Electric Transformer	
Gas Meter	
Sanitary Sewer Manhole	
Storm Sewer Manhole	
Telephone Manhole	
Electric Manhole	
Sign	
Telephone Pedestal	
Fire Hydrant	
Water Manhole	
Water Meter	
Utility Pole	
Light Pole	
Sewer Cleanout	
Flared End Section	
Gas Valve	
Existing Iron Pipe	
Iron Pipe Set	
Existing PK Nail	
PK Nail Set	
Computed Point	
Concrete Monument	
Tree Line	
Fence	
Underground Electric	
Underground Telephone	
Gas Line	
Water Line	
Overhead Utilities	
Storm Sewer	
Sanitary Sewer	

NOTE: LOCATION OF DUCT BANK AND CABINETS ARE SCHEMATIC. CONTRACTOR AND/OR DUKE ENERGY TO FIELD DETERMINE ACTUAL LOCATION. DIMENSIONS SHOWN ARE APPROXIMATE.

NOTE: CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.



1/SP1
SITE PLAN - FOSTER STREET (SITE ONE)
 SCALE 1" = 10'

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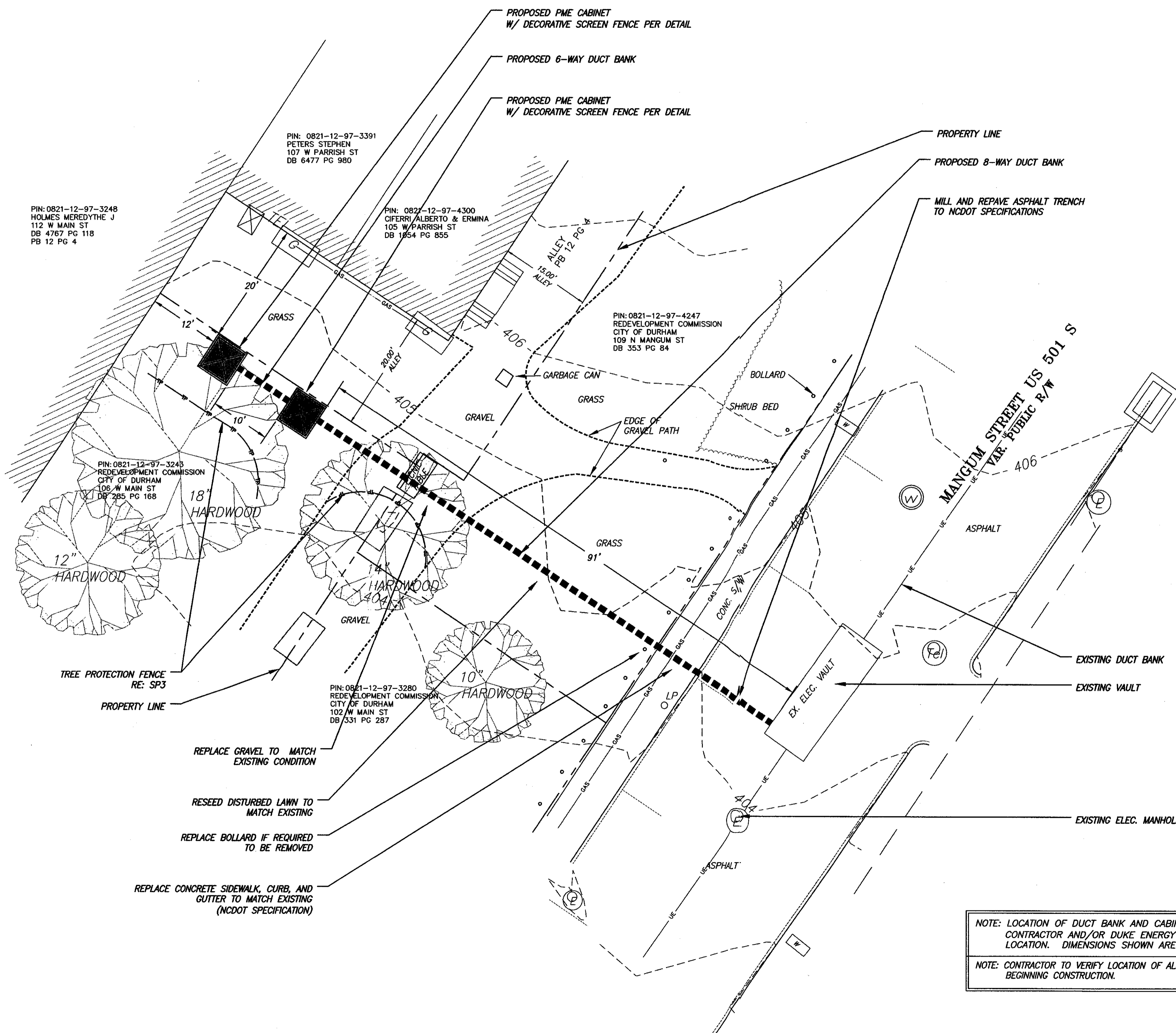
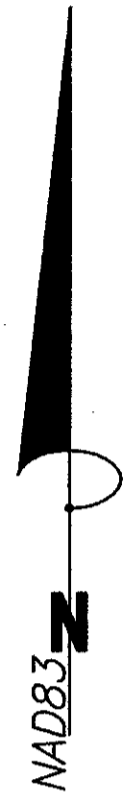
Project:
DOWNTOWN RELIABILITY ENHANCEMENT PROJECT
 DURHAM, NC

DRAWINGS NOT ISSUED CONSTRUCTION

CJT Project No: 1043
 Duke Energy WO No: 790823

Drawn	JSA
Checked	PR
Date	16 NOVEMBER 2010
Revisions	

Sheet Title
SITE PLAN FOSTER ST. (SITE ONE)
 Sheet Number
SP1



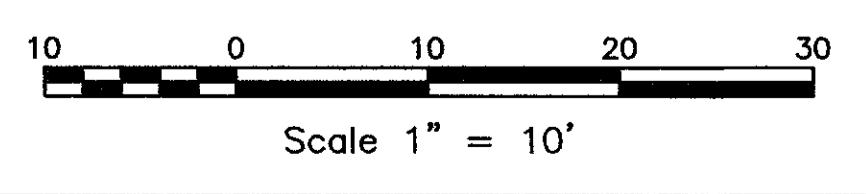
LEGEND

Water Valve	⊗
Curb Inlet/Catch Basin	⊠
Mail Box	⊞
Traffic Signal Box	⊞
Electric Transformer	⊞
Gas Meter	⊞
Sanitary Sewer Manhole	⊞
Storm Sewer Manhole	⊞
Telephone Manhole	⊞
Electric Manhole	⊞
Sign	⊞
Telephone Pedestal	⊞
Fire Hydrant	⊞
Water Manhole	⊞
Water Meter	⊞
Utility Pole	⊞
Light Pole	⊞
Sewer Cleanout	⊞
Flared End Section	⊞
Gas Valve	⊞
Existing Iron Pipe	⊞
Iron Pipe Set	⊞
Existing PK Nail	⊞
PK Nail Set	⊞
Computed Point	⊞
Concrete Monument	⊞
Tree Line	⊞
Fence	⊞
Underground Electric	⊞
Underground Telephone	⊞
Gas Line	⊞
Water Line	⊞
Overhead Utilities	⊞
Storm Sewer	⊞
Sanitary Sewer	⊞
Guard Rail	⊞

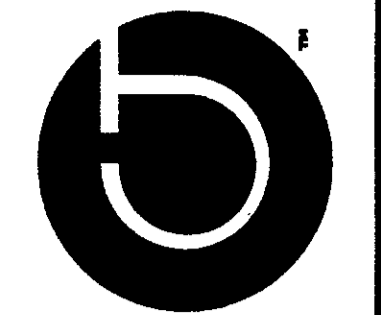
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1/SP2
SITE PLAN - N. MANGUM STREET (SITE TWO)
SCALE 1" = 10'

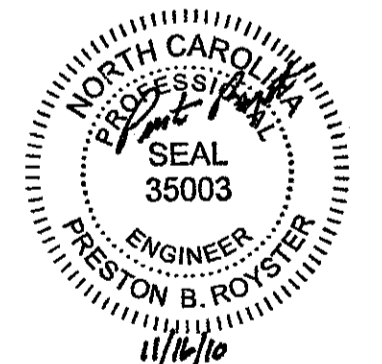


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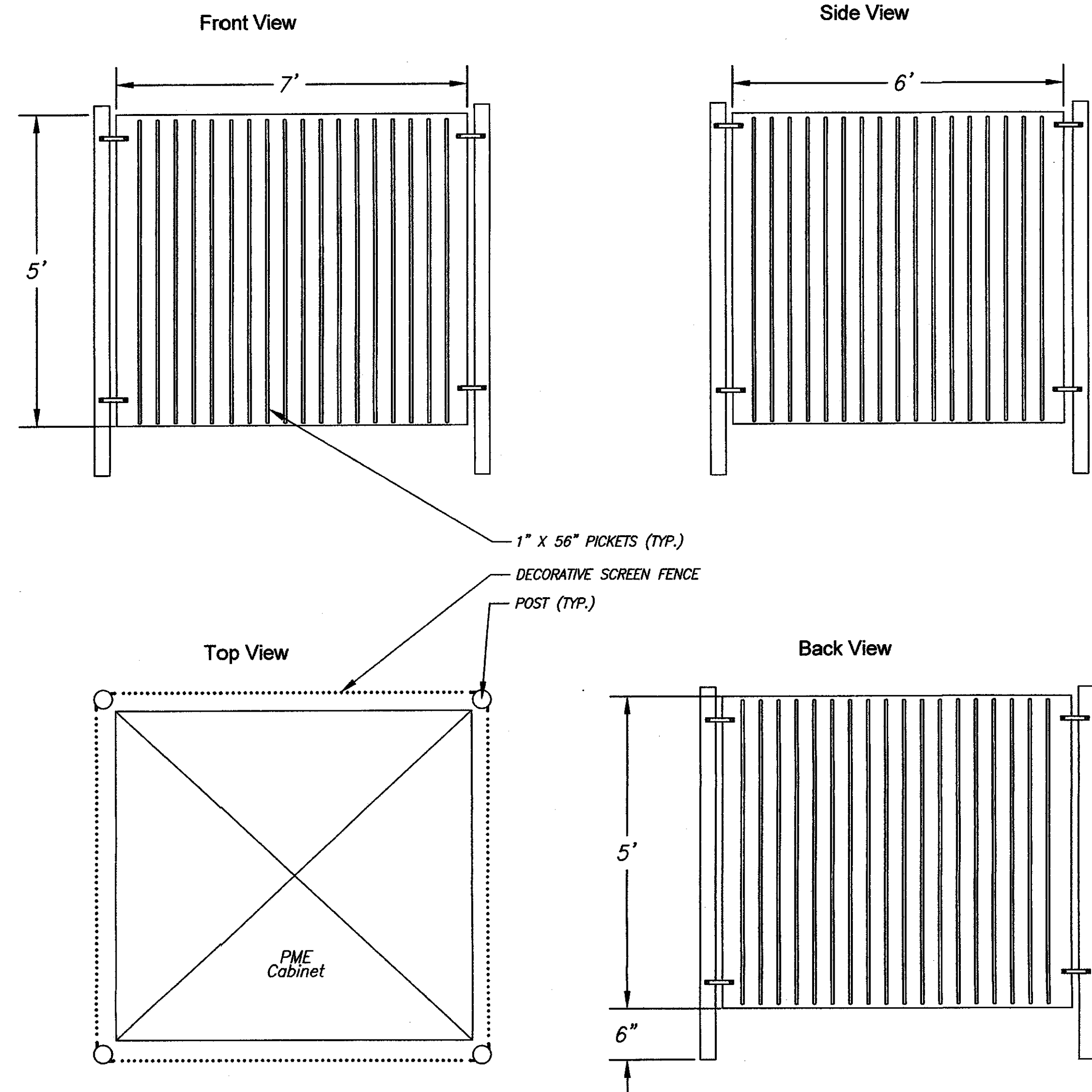
Project:
**DOWNTOWN
RELIABILITY
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PROJECT**
DURHAM, NC



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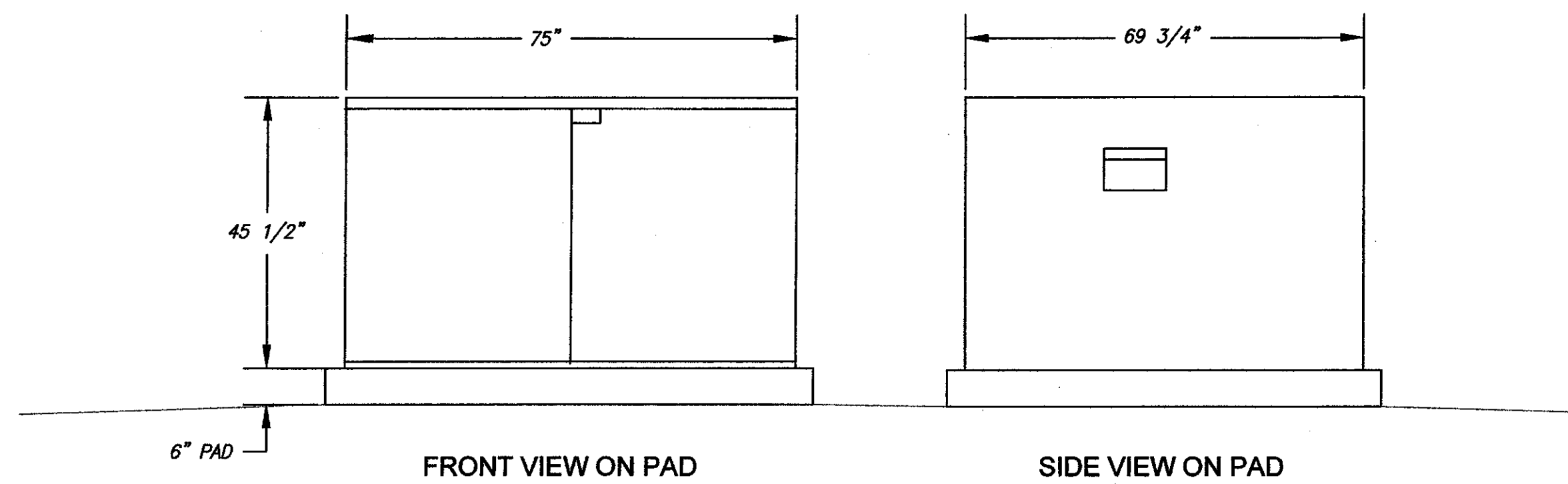
CJT Project No: 1043
Duke Energy WO No: 790823
Drawn: JSA
Checked: PR
Date: 16 NOVEMBER 2010
Revisions:

Sheet Title
**SITE PLAN
MANGUM ST.
(SITE TWO)**
Sheet Number
SP2

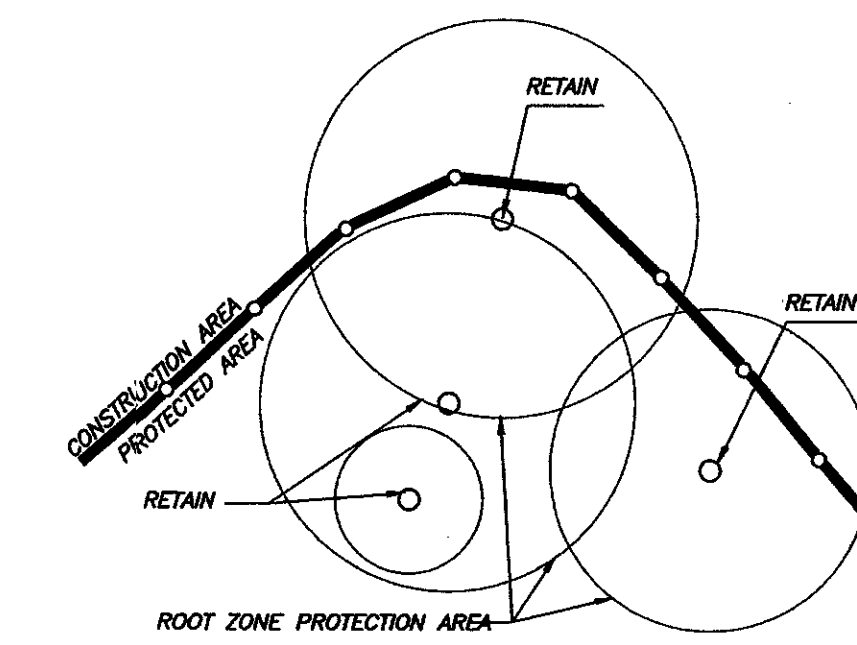


- NOTES:
- POST ARE 4" METAL ROUND POST, POWDER COATED, BLACK.
 - DECORATIVE SCREEN TO BE METAL WITH NO MORE THAN 80% OPACITY.
 - DECORATIVE SCREEN TO EXTEND A MINIMUM OF 6" ABOVE CABINET WITH NO DOORS.
 - DECORATIVE SCREEN DESIGN MAY CHANGE, BUT OPACITY SHALL NOT EXCEED 80%.

1/SP3
DECORATIVE SCREEN FENCE
NO SCALE



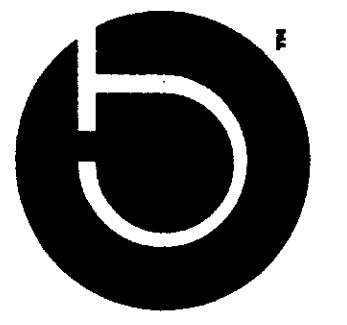
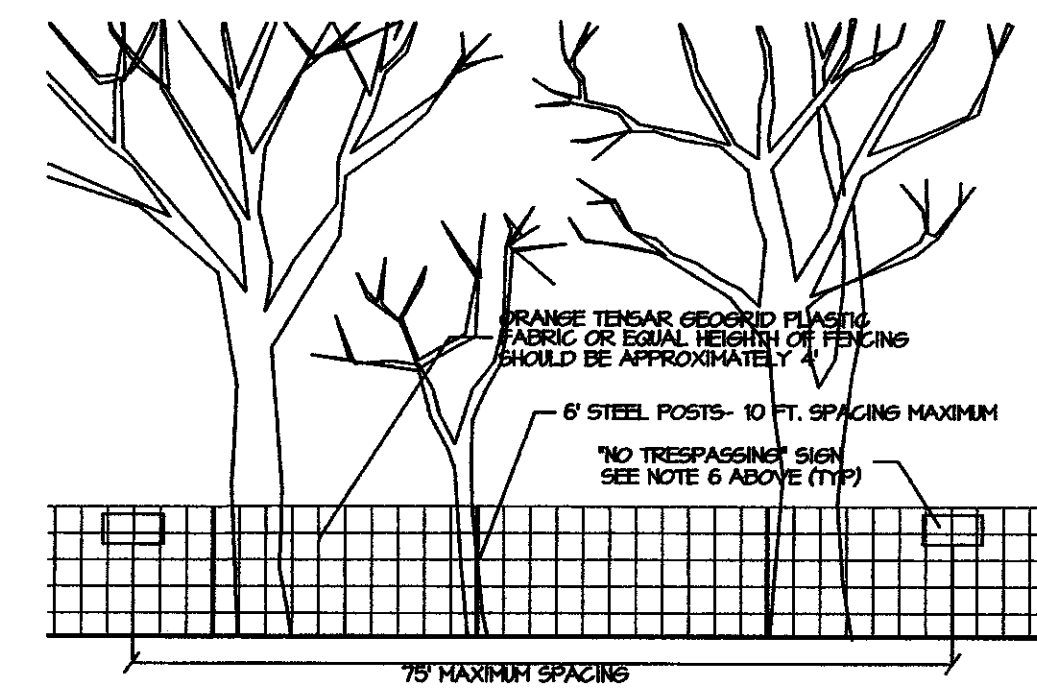
2/SP3
PME CABINET SPECIFICATION
NO SCALE



- DURHAM STANDARD NOTES:
11. PROTECTION OF EXISTING VEGETATION: At the start of grading involving the lowering of existing grade around a tree or stripping of topsoil, a clean, sharp, vertical cut shall be made at the edge of the tree save area at the same time as other erosion control measures are installed. The tree protection fencing shall be installed on the side of the cut farthest away from the tree trunk and shall remain in place until all construction in the vicinity of the trees is complete. No storage of materials, fill, or equipment and no trespassing shall be allowed within the boundary of the protected area.
 28. TREE PROTECTION NOTE: Tree protection fencing must be in place prior to any demolition, land disturbance or issuance of a grading permit.
 29. ROOT ZONE PROTECTION AREA: Equals one foot of radius for every inch of diameter of existing trees, or six foot radius, whichever is greater. No disturbance allowed within this area.

3/SP3
TREE PROTECTION FENCE
NO SCALE

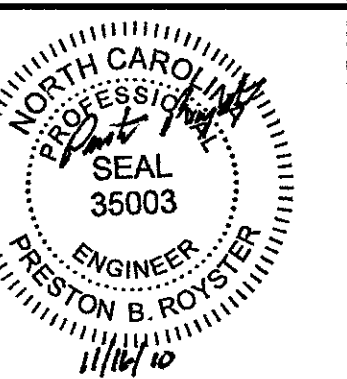
- NOTES:
1. MOVE FENCE OR REMOVE TREE IF MORE THAN 20% OF A TREE'S ROOT PROTECTION ZONE AREA IS UNPROTECTED.
 2. ROOT PRUNE THE TREES TO REMAIN WHERE CONSTRUCTION ACTIVITIES WILL SEVER ROOTS.
 3. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
 4. DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE SOIL OUTSIDE THE LIMITS OF WORK.
 5. WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE ROOT ZONE PROTECTION AREA OF EXISTING TREES.
 6. SIGNAGE IN BOTH ENGLISH AND SPANISH MUST BE PLACED ON TREE PROTECTION FENCING SPACED A MAXIMUM OF 75' O.C.
SIGNAGE IS TO READ:
TREE PROTECTION AREA - NO TRESPASSING WITHIN THE FENCE
PROHIBIDO ENTRAR / ZONA PROTECTORA PARA LOS ARBOLES



Coulter Jewell Thames RA
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142 SOUTH OF CAROLINA ARCHITECTURE CENTER, SUITE 100, DURHAM, NC 27701
111 West Main Street Durham, North Carolina 27701
p919.682.0368 f919.688.5646



Project:
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Sheet Title
SITE
DETAILS

Sheet Number
SP3